



ASHIANA
MULBERRY
MOMENTS



IT'S THE LITTLE
MOMENTS THAT MAKE
THE STORY OF OUR LIVES
WORTH RE-TELLING.

IT'S THE LITTLE MOMENTS
THAT LEND A COLOUR
TO OUR MEMORIES,
SHAPE TO OUR
RECOLLECTIONS,
AND FORGE CHARACTER
IN OUR LIFE CHAPTERS

HERE, WE
CELEBRATE
EACH
MOMENT
WITH EQUAL
ENERGY



WE CALL THESE MOMENTS

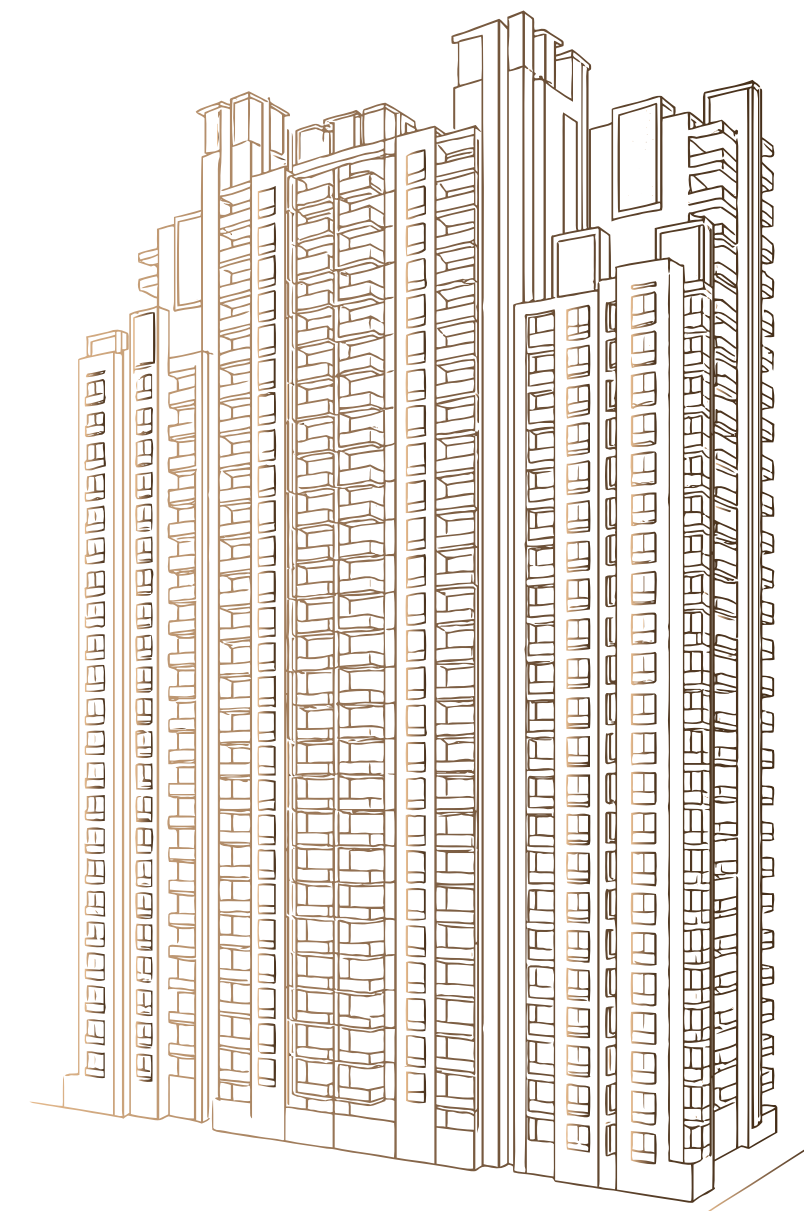
MULBERRY

PRESENTING

ASHIANA
MULBERRY
MOMENTS

OF THE COVETED
MULBERRY LIFESTYLE

It's unlike anything witnessed before!
Discover dedicated facilities, personalised features
and a world-class, new-age living experience where every
aspect of life has been tailored for your convenience.
That's the magic of Mulberry Moments.



PREMIUM RESIDENTIAL TOWER WITH 2 WINGS

25 MAJESTIC STOREYS

3 BHK LUXURY RESIDENCES

SIGNATURE ARCHITECTURE

IGBC (GOLD) CERTIFIED PROJECT

BUILT USING ALUMINIUM SHUTTERING TECHNOLOGY

35,000 SQ. FT CLUB ZONE WITH MODERN AMENITIES

80% OPEN SPACE



AN ABODE WHERE
MAGICAL MOMENTS RESIDE

FROM THE DEVELOPER'S MINDSPACE



A HUMBLE ATTEMPT AT ENRICHING THE ASPIRATIONAL LIFESTYLE

Our greatest ambassadors are the 180 families already living at the premises of Mulberry, who stand testament to the ease of living and convenient lifestyle where they have found themselves at home.

While creating this project, we discovered that there was a need for spaces that would complement the needs of the now and the next.

There was a need to adapt to changing times, a need to enhance the way of life that best suits the aspirations and ideals of today and tomorrow.

With Ashiana Mulberry Moments, we have truly delivered an upgraded living, where every space, every design and every facility is tailor-made to the best of your interest. Be it the first step to your final one, Mulberry Moments will be your forever home for today, and for the future.

Ashiana
The art of home

HIGHLIGHTS OF THE MULBERRY ADDRESS

Strategic location near
Delhi-Mumbai Expressway

On main Sohna Road, South of Gurugram,
the upcoming part of Gurugram

Only 20 minutes* from Gurugram's golf course
extension road

Elevated road from
Rajiv Chowk to Sohna
to cut access time by half

Excellent road connectivity to
Delhi, Faridabad, Jaipur & Chandigarh

Upcoming 400-acres industrial township
for electronics manufacturing cluster

Close proximity to metro route and
nearby KMP bypass

Easy connectivity with
Delhi-Mumbai Freight Corridor (DMIC)

WHAT MAKES SOHNA THE LIMELIGHT LOCATION OF GURUGRAM?



Scan for location



ASHIANA
MULBERRY
MOMENTS



FROM THE ARCHITECT'S DESK

CRAFTING THE LOVE-LANGUAGE OF MULBERRY DESIGN

True-blue Exclusivity - We envisioned private sanctuaries where families thrive and moments are cherished. With limited apartments per floor, privacy and exclusivity define this design.

Next-door to Nature - Apartments open on all sides, welcoming sunlight and fresh air. Spacious skydecks offer stunning Aravalli views—perfect for gatherings or quiet reflection.

Luxury in every Detail - From lavish windows and kitchens to a unique walk-in experience indoors, every detail enhances comfort and elegance.

Premium Athleisure - The momentous club zone is one of Sohna's best. Creating a stage for celebrating life's finest experiences.

Inclusive Community Living - Mulberry Moments is more than a project—it's a neighbourhood of like-minded people who value luxury, nature, and togetherness.

Mr. Vijay Kumar Tuteja
Chief Architect, Ashiana

MASTER PLAN



NO SOONER THAN YOU ENTER, YOU FEEL THE MULBERRY IN THE AIR

When we talk about arrival experiences,
Mulberry Moments will be the game-changer.
The entrance to Mulberry Moments is
one-of-a-kind.

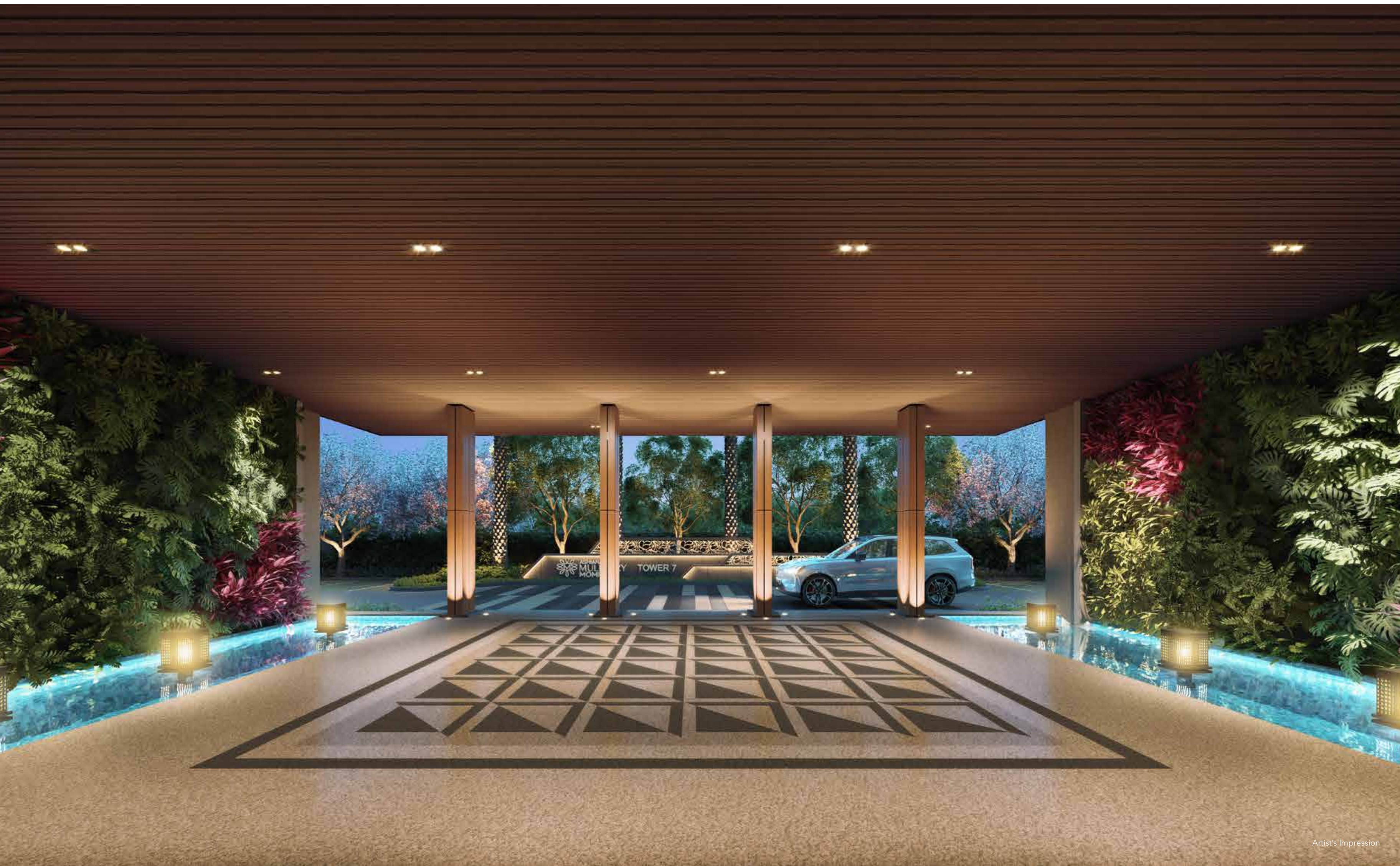
Right from the drop-off to the entry porch
and beyond, arrivals will feel like an elite experience
every time you come home.



SEAMLESSLY DESIGNED DROP-OFF ZONE
CRAFTED FOR EFFORTLESS ACCESS



A THOUGHTFULLY CURATED GRAND ENTRANCE WELCOMES
YOU RIGHT BEFORE YOU ENTER THE TOWER LOBBY



A black and white photograph of a woman with her hair in a bun, wearing a black choker and a black dress, sitting on a large, tufted leather sofa. She is looking off to the side. The background features a modern interior with vertical slats, a lamp, and a bookshelf.

THE LAVISH AC LOBBY LINED WITH MULBERRY LUXURY

The whole experience of alighting from your car and entering the luxuriant AC lobby through the covered porch is the main highlight of Ashiana Mulberry Moments. Such an experience is beyond ordinary.

Double-height ceiling
World-class textures and international decor
Premium concierge table and assistance

Luxury lounge seating and resting area
Dedicated high-speed elevators



ENTERING YOUR APARTMENT FROM THE LOBBY IS MADE
CEASELESS VIA THE ELEVATOR LOBBY



Artist's Impression

LIFT LOBBY



Artist's Impression

APARTMENT LOBBY

MULBERRY MOMENT REACHED!

YOUR WORLD OF SPACIOUSNESS AND PRIVACY OPENS UP



As you continue on your journey
of experiencing the aura at Mulberry Moments,
you find yourself inside your expansive apartment
where sunlight and wind complement life,
while only 3 apartments per floor keep
your personal moments private.





Artist's Impression

Only 3 apartments per floor
3 BHK homes with Aravalli views

French windows with bedrooms
Exceptional cross-ventilation



Artist's Impression

AIRY APARTMENTS WELCOME
SUNLIGHT AND WIND WITH OPEN ARMS



Artist's Impression

EXTENSIVELY SPACIOUS MODULAR KITCHENS WILL
TRANSFORM YOUR COOKING EXPERIENCE



THE HILLS COME WITH A PRIVATE VIEW-POINT, WE CALL 'SKY-DECKS'.

MAKING EACH MOMENT MULBERRY

Imagine if your apartment extended to make space for a party deck for get-togethers or a dedicated viewing deck for the whole family with the view of Aravalli and open cityscape in sight.

Expansive 22 x 8 ft private sky-decks that can host up to 15 guests

Large Aravalli common viewing decks on the 19th floor

A black and white photograph of a woman with long dark hair, wearing a dark one-piece swimsuit, floating in a swimming pool. She is looking upwards with her arms extended. In the background, there is a large, ornate, classical-style urn on a pedestal. The wall behind the urn is made of horizontal wooden planks. The overall mood is serene and luxurious.

LUXURY LEISURE SPACES DEDICATED FOR MULBERRY MOMENTS

Imagine taking a long-awaited rejuvenating dip at the pool to de-stress at the end of the day, or starting a new day with recharged spirit straight out of the gym? Here, leisure never clocks out as the exclusive tower amenities cater to your unique routine. The first floor of Mulberry Moments has been designed keeping your needs and aspirations in mind.

Catch-up with fitness, a swim or some running laps whenever you please, at the health-club zone that matches your lifestyle.

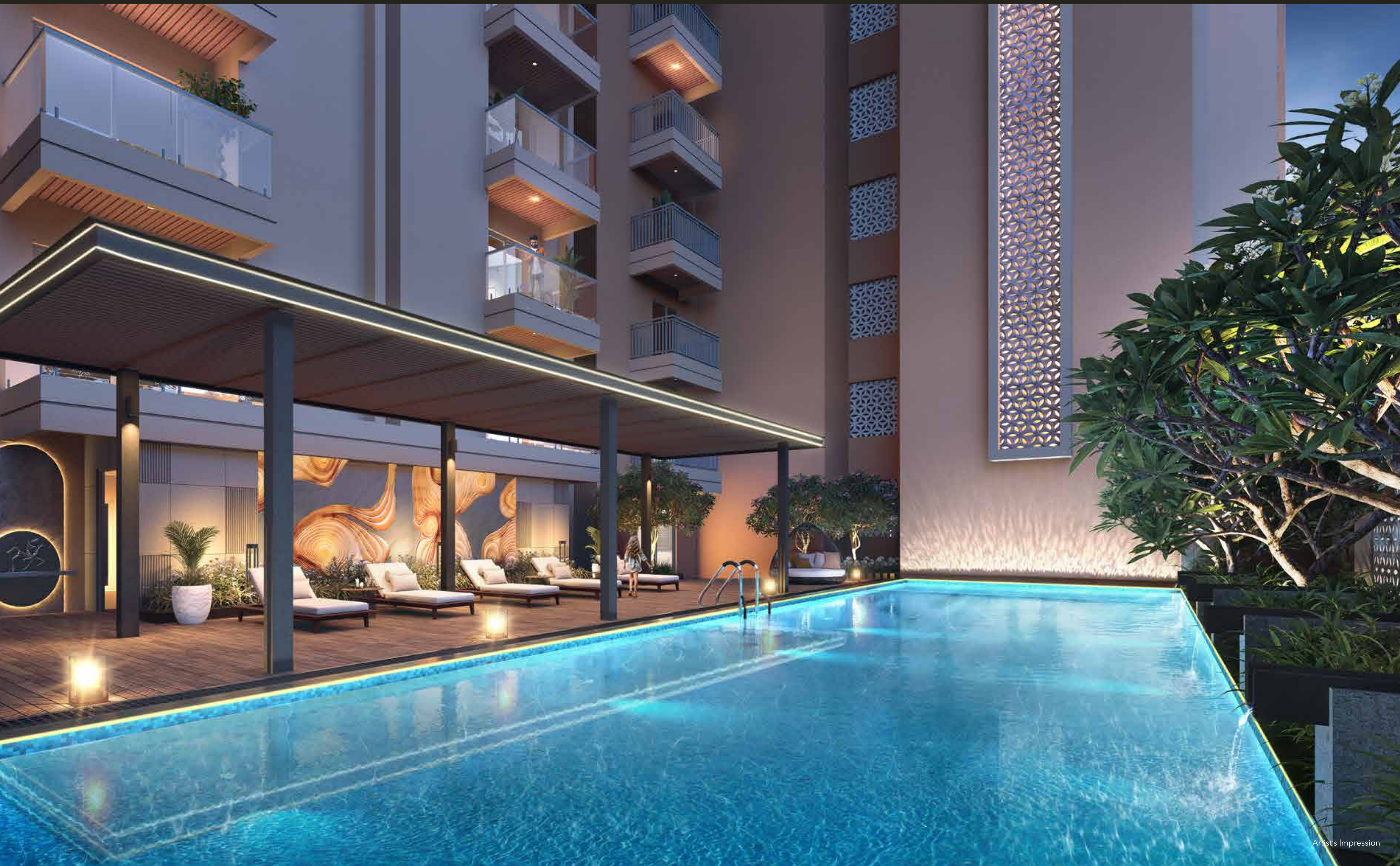
Swimming pool

Gymnasium

Celebration room

Café

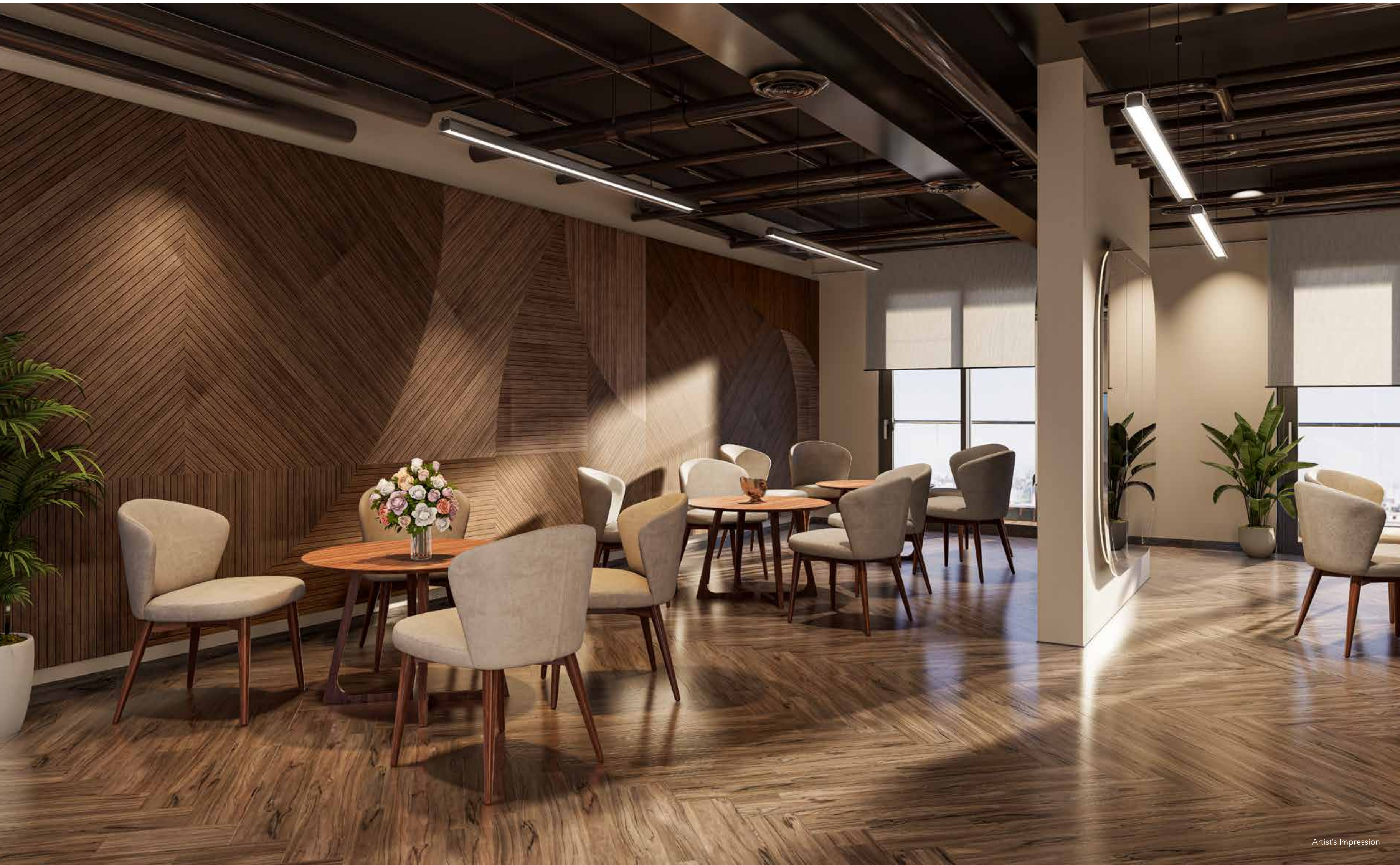
DIVE INTO THE 24X7 OPEN POOL AND CHERISH YOUR MOMENTS



CHASE FITNESS ANYTIME OF THE DAY OR PURSUE THAT SHIPSHAPE AT YOUR OWN CONVENIENCE AT THE GYMNASIUM



DEDICATED CELEBRATION ROOM KEEPS YOUR CIRCLE
CLOSE AND GET-TOGETHERS JUST A MOMENT AWAY



CAFÉ AT THE TOWER, WHERE EVERY MOMENT
IS BREWED TO PERFECTION



AIR DOUSED IN PURITY OPEN TO FREE-BREATHING

MULBERRY MOMENTS MADE!

It's like the oxygen in the air is purer here in Sohna.
Welcome to the land of free-living and free breathing
where the air quality index reflects the clean air and the
low population density keeps you away from the
bustling city chaos.



MULBERRY MOMENTS MEAN

80% OPEN UNDER THE SKY

Central lawn

Meditation lawn

Moon garden

Reflexology path

Kids' play area

Floral garden

Hop-scotch play area

Indoor seating overlooking greens

Climbing wall

Mini trampoline park





Artist's Impression

THE KIDS' PLAY AREA THAT FOSTERS
FUTURE PLAYMAKERS



Artist's Impression

THE CARPET OF GREEN WHISPERS
PEACE BENEATH YOUR FEET

A black and white photograph of a man with a beard and curly hair, wearing a white long-sleeved shirt and white pants, sitting in a meditative lotus position on a large, dark, rectangular stone block. He is surrounded by dense trees and foliage, with sunlight filtering through the leaves. The background is a soft-focus forest scene. There are three stylized, golden bird-like graphics: one in the top left, one in the top right, and one in the middle left, near the text.

LEISURE AND FITNESS FOUND UNDER THE SUN

MULBERRY MOMENTS MADE!

Step into a world where leisure meets vitality. Here, every outdoor space is thoughtfully designed to inspire movement, wellness, and celebration. From energising workouts to moments of serene reflection or joyous gatherings, this is where life thrives in perfect harmony, crafted for your aspirations and a balanced lifestyle.

Large party lawn adjoining
the banquet hall

Pickleball court

Cricket pitch with an
automated bowling machine

Outdoor Gymnasium

Skating rink

Jogging track

Reflexology paths

MOMENTS
MADE ON THE
GROUND LEVEL

OPEN TERRACE
MADE MERRY

Yoga zone

Aerobics area

Zumba space

Terrace garden



Artist's Impression

THE OUTDOOR GYM, A SPACE WHERE
FITNESS THRIVES NATURAL



Artist's Impression

THE PICKLEBALL COURT, A PERFECT BLEND
OF SPORT AND SOCIAL FUN

A black and white photograph of a person sitting in a pool at night, looking out at a cloudy sky. The scene is enhanced with artistic orange line graphics: wavy lines arching over the person and falling leaves in the bottom left corner. The text is overlaid on the right side of the image.

THE NIGHTS ARE
ALWAYS STARRY
AND THE
MOOD IS ALWAYS
CELEBRATORY

THE MOMENTS, ALWAYS MULBERRY



35,000 SQ. FT CLUB ZONE OF LOUNGE AND LAUGHTER

21 mtr. pool with fibre optic lights
for starry night ambience

Billiards room

Banquet hall

Air hockey

Snooker

Cards room

Movie theatre with recliner seats

FITNESS & WELLNESS

Gymnasium

Squash court

Indoor badminton court

Table tennis court

Aerobics & Zumba spaces

Posh lift lobby on every floor

RECREATIONAL AMENITIES

Two Hobby Rooms
for children aged 5-15
(dance, drama & music)

Lounge area with café

Fun library

Toddlers' play zone

Double height air-conditioned residents' lounge for tower



Artist's Impression

CLUB ZONE CRAFTED FOR YOUR
LEISURE MOMENTS



Artist's Impression

PLUSH AND PREMIUM ARE THE NICKNAMES
FOR OUR LAVISH CLUB LOBBY



Artist's Impression

THE INDOOR GAMES ROOM, WHERE LEISURE
MEETS COMPETITION FOR ALL AGES



Artist's Impression

THE BANQUET HALL KEEPS YOUR
GET-TOGETHER JUST A MOMENT AWAY



Artist's Impression

THE CHILDREN'S ACTIVITY ROOM, WHERE FUN
AND CREATIVITY KNOW NO BOUNDS



FLOOR PLAN

MULBERRY MOMENTS
MEASURED IN HEARTBEATS
NOT SQUARE FEET!

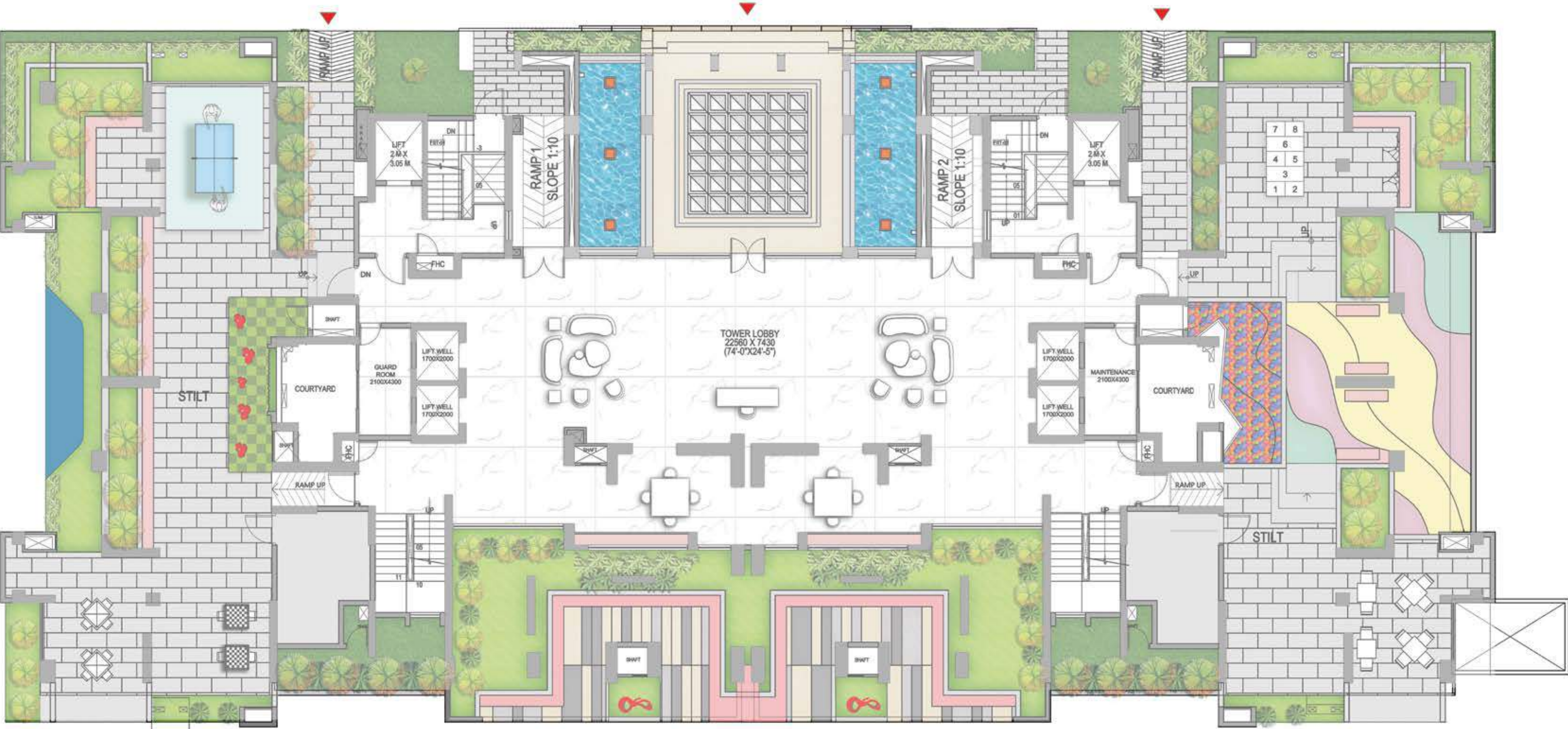
SITE PLAN



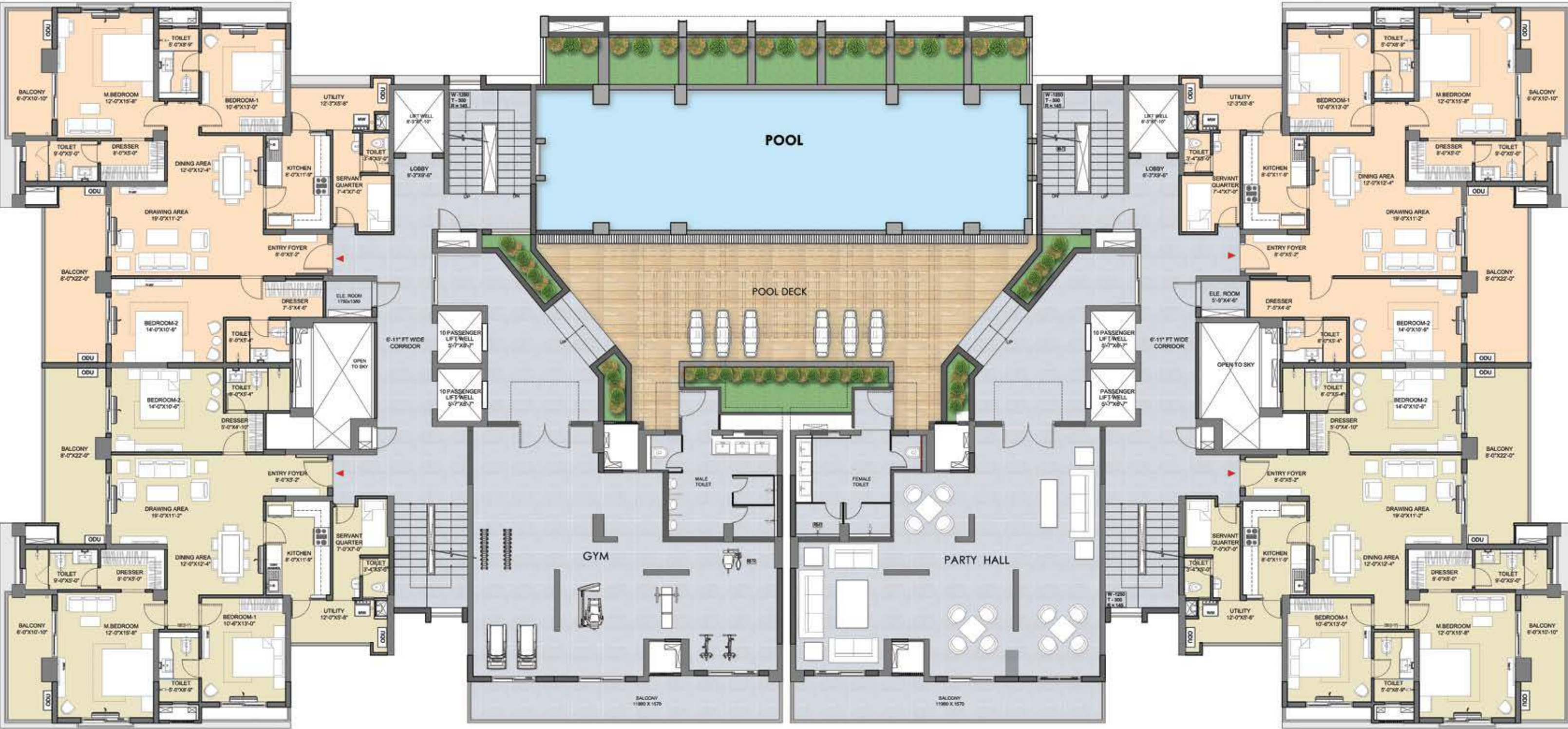
THE BLUEPRINT OF
A MOMENTOUS LIFESTYLE

- | | | | | |
|--|---|--|---------------------------------------|--|
| 1) Accent paving at tower drop-off | 7) Central lawn | 14) Skating rink | 21) Boundary plantation | 28) Tower landscape foyer |
| 2) Tower signage with palm trees in backdrop | 8) Outdoor gym | 15) Geature wall in greens with sculpture in front | 22) Hop-scotch play area | 29) Water feature with green wall backdrop |
| 3) Water feature with feature walls, nozzels & sculpture | 9) Yoga/meditation lawn | 16) Kids' play lawn | 23) Indoor seating overlooking greens | 30) Reading alcove |
| 4) Pathway through portal | 10) Yoga/meditation pavilions | 17) Kids' play area | 24) Climbing wall | 31) Greenbite café |
| 5) 2m wide pathway/ jogging track | 11) Moon garden | 18) Pickleball court | 25) Mini trampoline park | 32) Café seating area |
| 6) Linear seating in elders' zone | 12) Reflexology path | 19) Floral garden | 26) Chess play area | 33) Green wall with sculpture |
| | 13) Seating under triangular metal canopies | 20) Pet park | 27) Carrom play area | 34) Table tennis play area |
| | | | | 35) Seating alcove |

GROUND FLOOR



1ST FLOOR



- ULTIMA UNITS
- MAGNA UNITS



TYPICAL 2ND TO 18TH & 20TH FLOOR

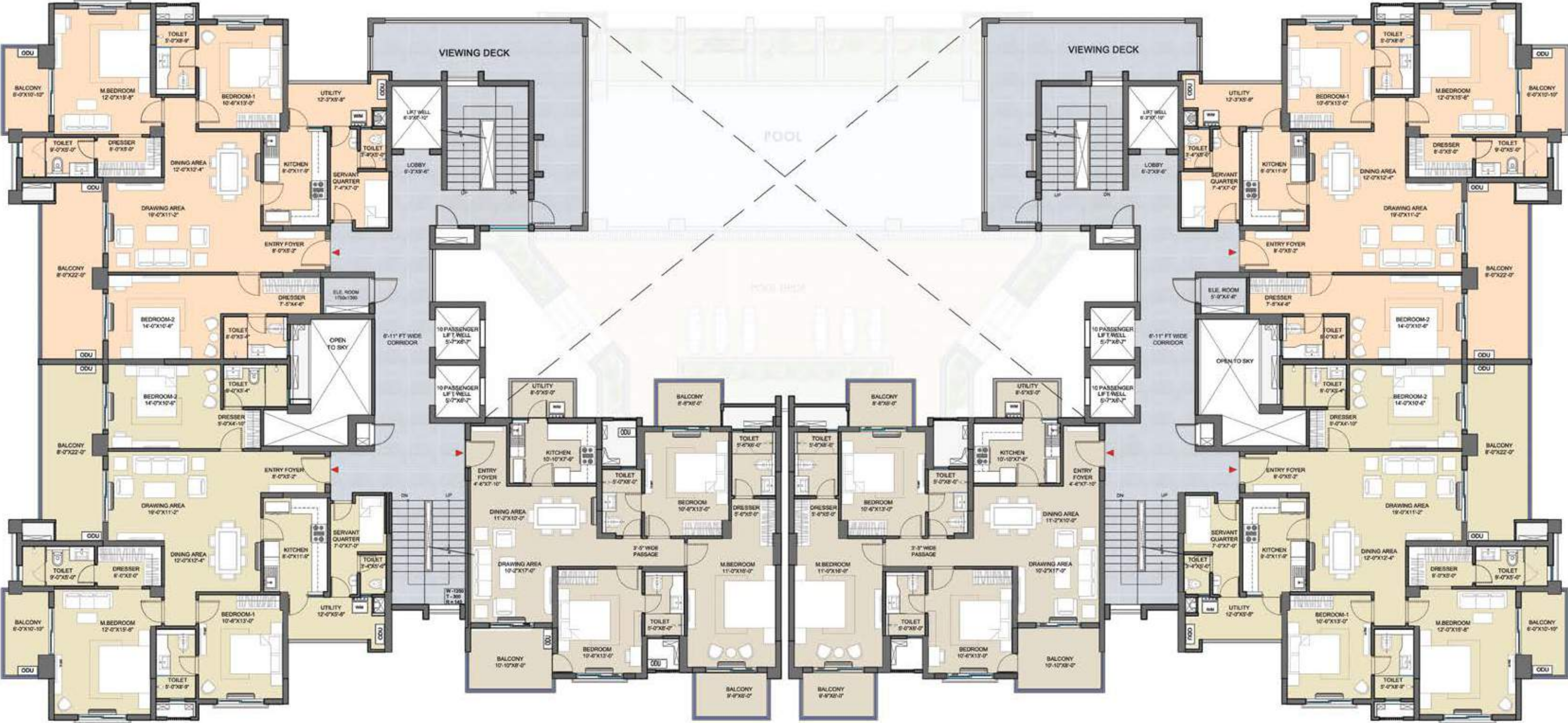


- ULTIMA UNITS
- MAGNA UNITS
- PRIMA UNITS



Not to scale

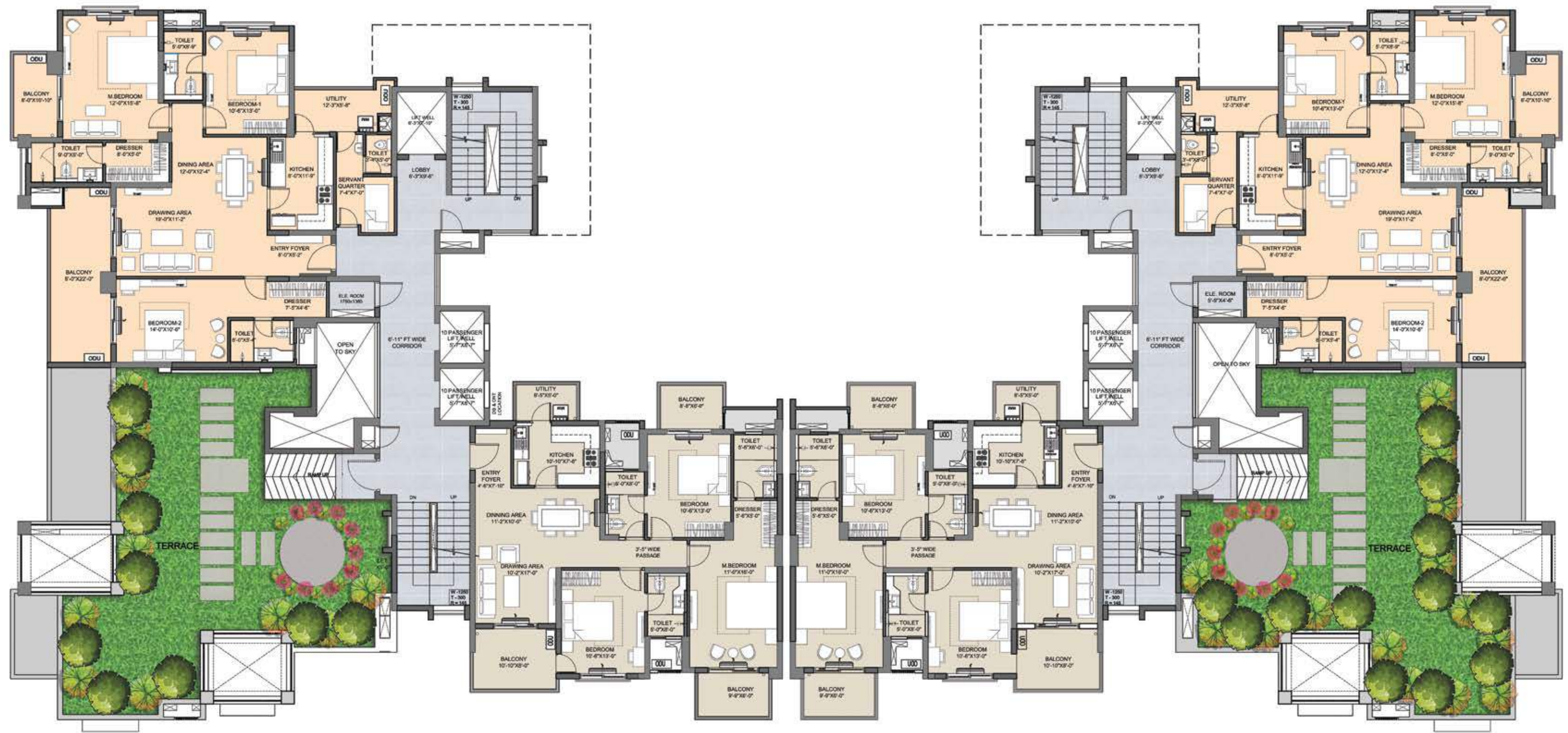
19TH FLOOR



- ULTIMA UNITS
- MAGNA UNITS
- PRIMA UNITS

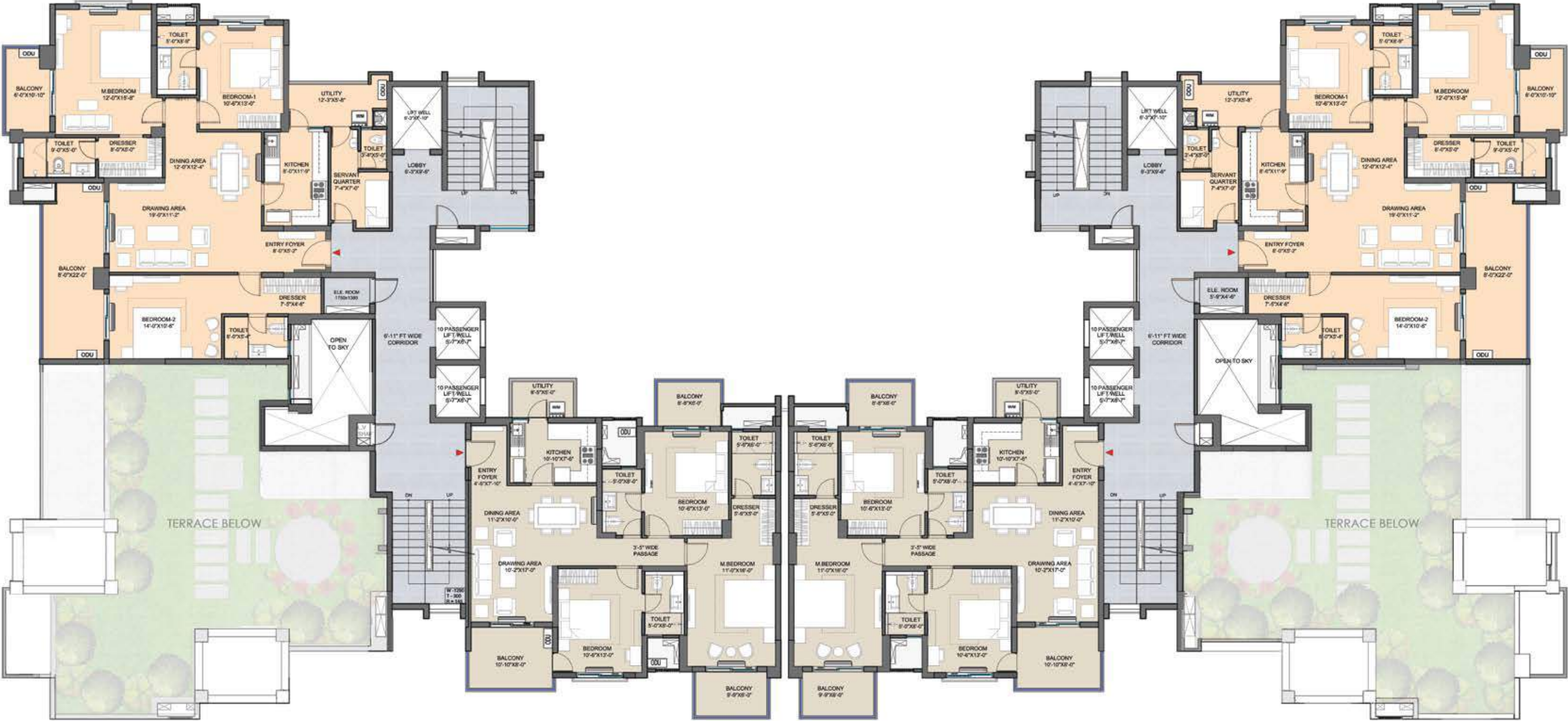


21ST FLOOR



- ULTIMA UNITS
- PRIMA UNITS

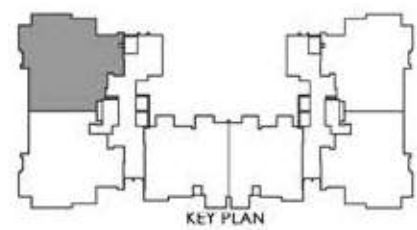
22ND TO 25TH FLOOR



- ULTIMA UNITS
- PRIMA UNITS



ULTIMA UNIT PLAN (LEFT WING)

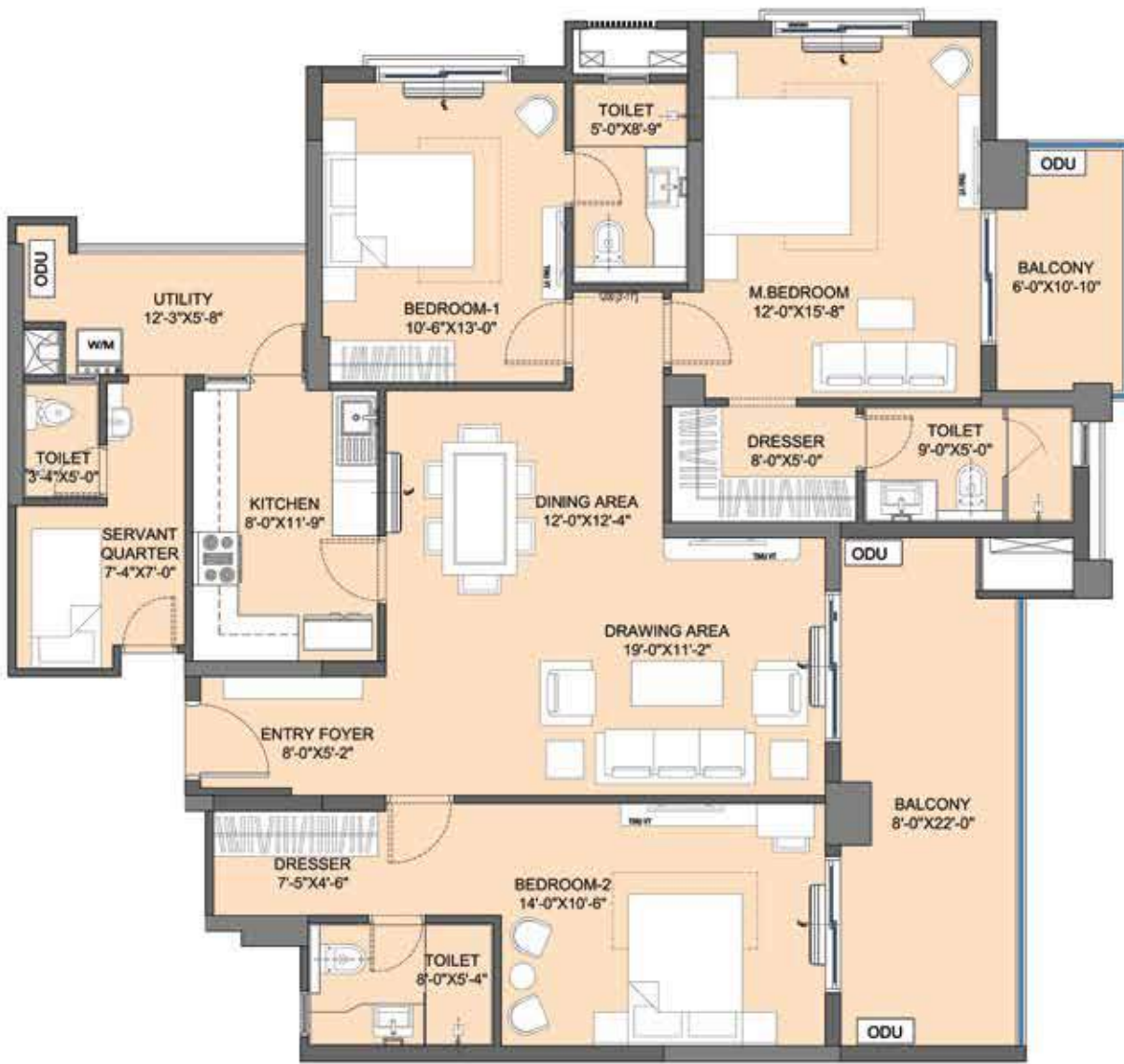
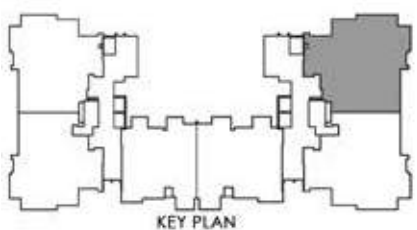


ULTIMA (3 BHK + 3T + SQ)		
AREA	SQ. M.	SQ. FT.
RERA CARPET AREA	118.16	1272
BALCONY AREA	27.45	295
EXTERNAL WALL AREA	12.42	134



Not to scale

ULTIMA UNIT PLAN (RIGHT WING)

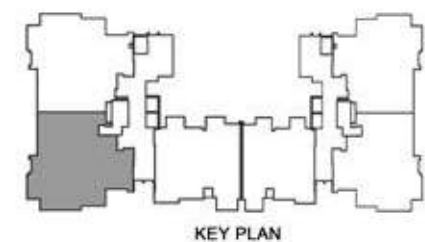


ULTIMA (3 BHK + 3T + SQ)		
AREA	SQ. M.	SQ. FT.
RERA CARPET AREA	118.16	1272
BALCONY AREA	27.45	295
EXTERNAL WALL AREA	12.42	134



Not to scale

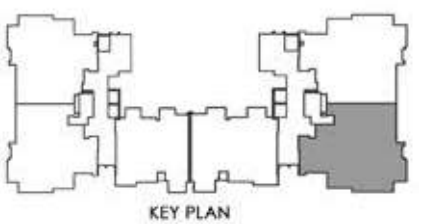
MAGNA UNIT PLAN (LEFT WING)



MAGNA (3 BHK + 3T + SQ)		
AREA	SQ. M.	SQ. FT.
RERA CARPET AREA	114.00	1227
BALCONY AREA	27.29	294
EXTERNAL WALL AREA	13.57	146



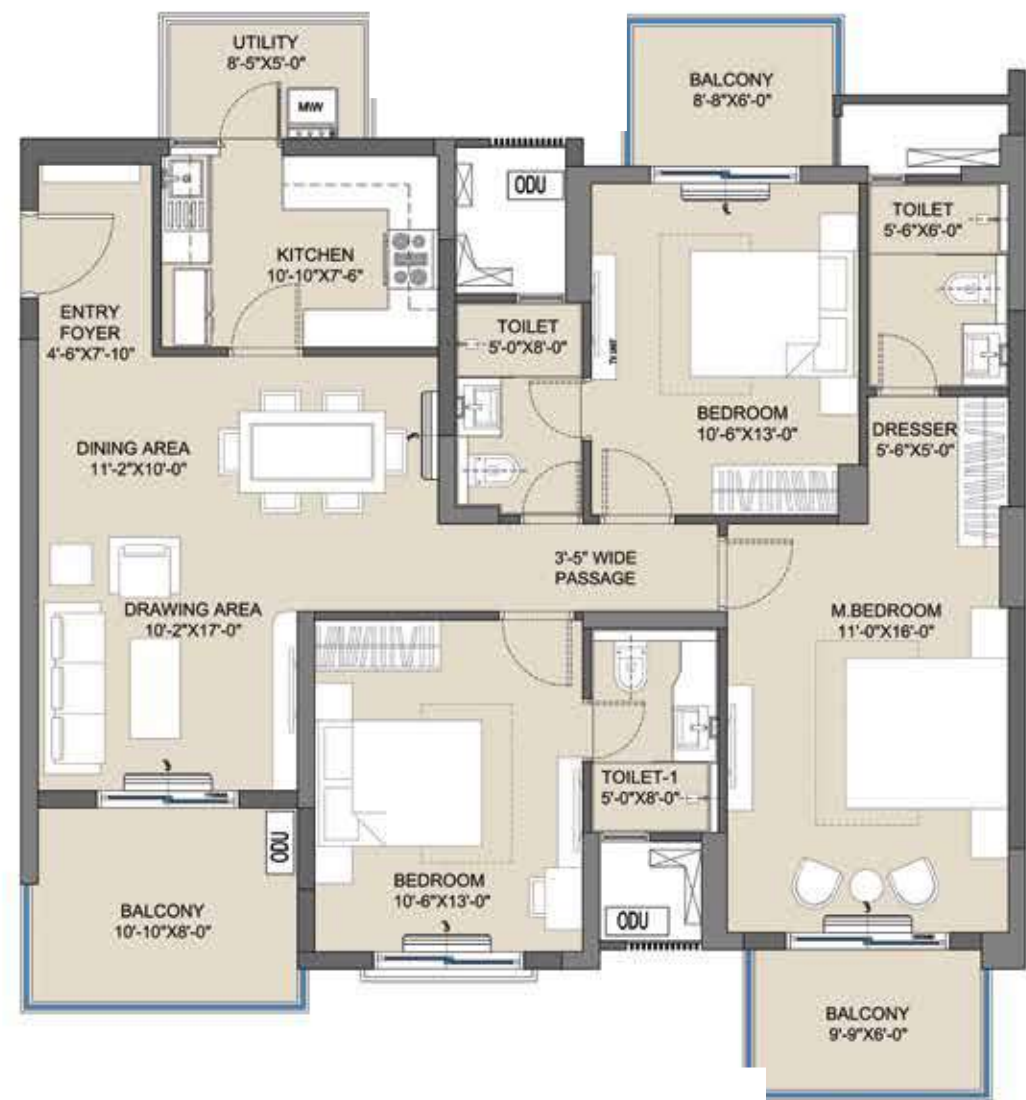
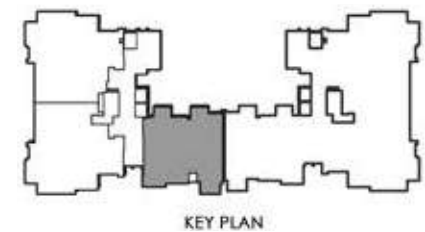
MAGNA UNIT PLAN (RIGHT WING)



MAGNA (3 BHK + 3T + SQ)		
AREA	SQ. M.	SQ. FT.
RERA CARPET AREA	114.00	1227
BALCONY AREA	27.29	294
EXTERNAL WALL AREA	13.57	146



PRIMA UNIT PLAN (LEFT WING)

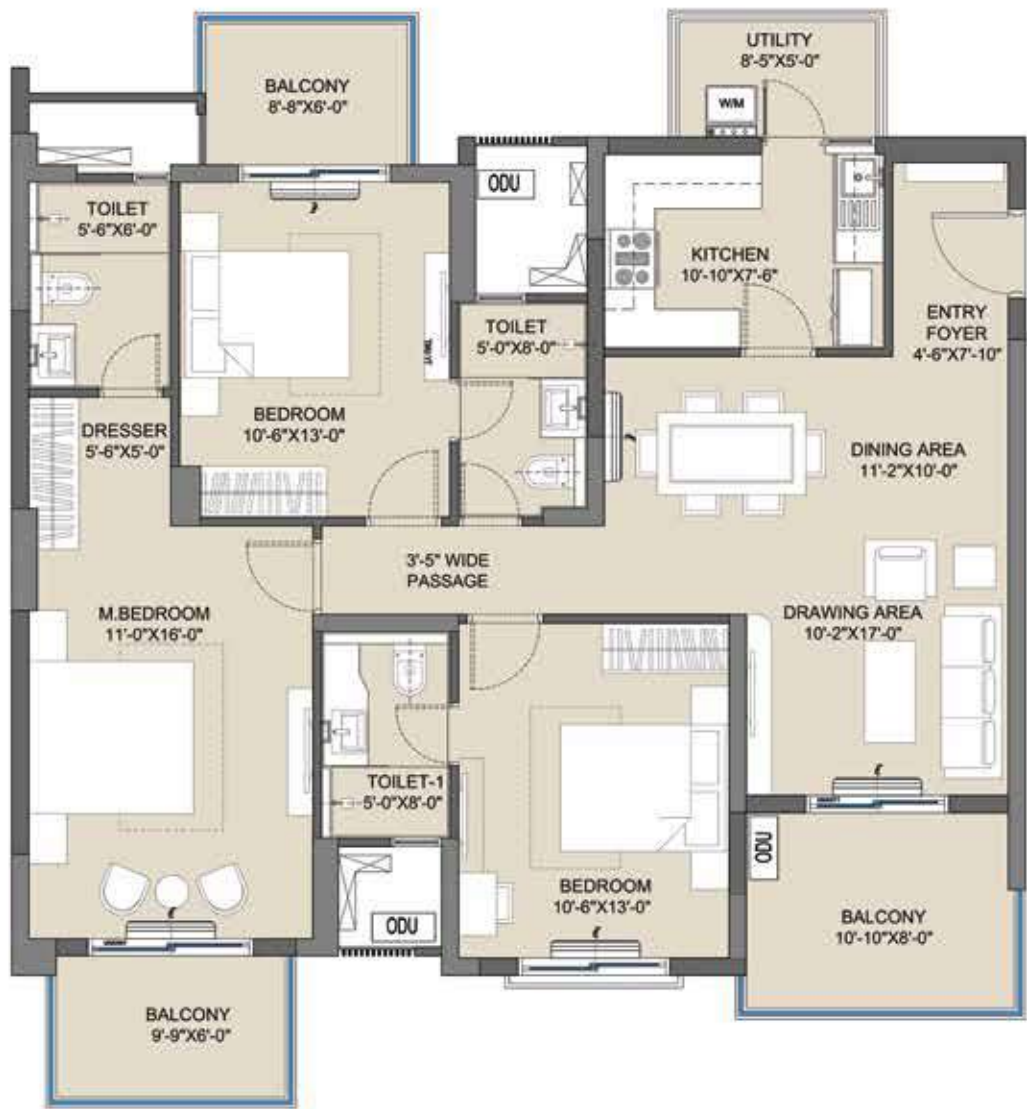
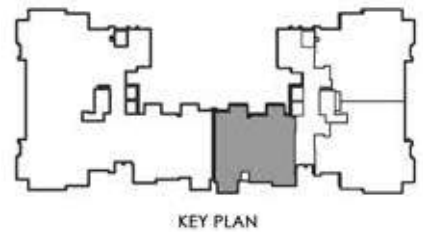


PRIMA (3 BHK + 3T)		
AREA	SQ. M.	SQ. FT.
RERA CARPET AREA	94.08	1013
BALCONY AREA	21.68	233
EXTERNAL WALL AREA	11.31	122



Not to scale

PRIMA UNIT PLAN (RIGHT WING)



PRIMA (3 BHK + 3T)		
AREA	SQ. M.	SQ. FT.
RERA CARPET AREA	94.08	1013
BALCONY AREA	21.68	233
EXTERNAL WALL AREA	11.31	122



Not to scale

ECO PRACTICES MAKE EVERY MOMENT SUSTAINABLY MULBERRY!

Ashiana Mulberry Moments is an **IGBC GOLD Certified Green Building** Project, thoughtfully designed to value the greatest essence of the ecosystem in our nature. It demonstrates intent to design and build a high-performance residential building in accordance with IGBC green homes criteria.



Rainwater harvesting



Solid waste management



Waste disposal system



Low flow water fixture



Natural daylight & fresh air



Light fixture as per green building compliances



Provision for electric charging point



Low-VOC paint



Wastewater recycle



Renewable energy:- solar panels to meet electricity generation as per PCB



THE HEALTH BENEFITS OF GREEN LIVING

Environmental Purification:
Green spaces naturally cleanse the air, creating a healthier environment.

Enhanced Focus:
Green surroundings improve mental clarity and help sharpen concentration.

Emotional Well-being:
Nature-centric ambience supports emotional balance and mental peace.

Stronger Immunity:
Green living strengthens our immune system.

Uplifted Mood:
Natural surroundings help refresh the mind and elevate our mood.

Physical Restoration:
Eco-friendly environment supports the body's natural balance and promotes healing.

ADVANCED AUTOMATION FEATURES

HOMES WITH AN **AUTOMATED** MULBERRY UPDATE!

Ashiana Mulberry Moments features **intergated smart home automation** in all rooms & living area for modern convenience, be it internal security or accessibility, your living experience will be enhanced by a host of easy lifestyle tools.

Smart home automation in
all rooms & living area



Biometric locks
on main door

Video door phone

Gate-access app

Standard Specification

RCC framed structure certified by IIT or equivalent. All external wall are made of concrete for higher strength and durability (instead of bricks)

Living Room & Dining Area:

Flooring:	Large format glazed vitrified tiles of Nationally reputed Brand with 2 mm grooves filled with cementitious grout
Walls & Ceiling:	- Wall & Ceiling will be treated with putty followed by 2 coats of emulsion paint from National Level Brand(s) - Aesthetic ceiling moulding / cornice shall be provided with provision for fixing concealed LED Lighting
Windows & External Doors:	UPVC Sliding / Casement Doors and Windows Designed for required height and windspeed from National Level Brand(s)
Doors & Door Frames:	8 ft height / wood finish Pre-laminated / polished shutter / polished door frame / Biometric lock / magic eye / tower bolt / door stopper / Video Door Phone (VDP) (<i>Main Door Entrance</i>)
Electrical:	- Designer Switches with chrome trimming for better aesthetics - Intercom shall be provided, Broadband data point shall be provided 1 (one) wall mounted 1.5 ton indoor split AC at designated location shall be provided - AC outdoor unit at designated location - AC and some lights shall be provided on Automation which can be operated using mobile app - Fire retardant low smoke copper wiring in concealed PVC conduits shall be laid in ceilings and walls for all electrical points Distribution Board with MCB's and ELCB's shall be provided. - Fire Fighting & Alarm system, as required by the competent authority shall be provided

Master Bedroom

Flooring:	Wooden Laminated Flooring in Long Plank Form
Walls & Ceiling:	- Wall and ceiling will be treated with putty followed by 2 coats of emulsion paint from National Level Brand(s). - Aesthetic ceiling moulding / cornice shall be provided with provision for fixing concealed LED Lighting
Windows & External Doors:	UPVC sliding / casement doors and windows designed for required height and windspeed from National Level Brand(s)
Doors & Door Frames:	7 ft Height / Wood finished Pre-Laminated shutters / Polished Door Frame. - High Quality Branded locks, tower bolt & door stopper
Electrical:	- Designer Switches with chrome trimming for better aesthetics - Broadband data points in the room. 1 (one) wall mounted 1.5 ton indoor split AC at designated location shall be provided - AC outdoor unit at designated location - AC and some lights shall be provided on Automation which can be operated using mobile app - Fire retardant low smoke copper wiring in concealed PVC conduits shall be laid in ceilings and walls for all electrical points. Fire Fighting & Alarm system, as required by the competent authority shall be provided

Kids & Guest Bedroom

Flooring:	Wooden Laminated Flooring in Long Plank Form
Walls & Ceiling:	- Wall and ceiling will be treated with putty followed by 2 coats of emulsion paint from National Level Brand(s). - Aesthetic ceiling moulding / cornice shall be provided with provision for fixing concealed LED Lighting
Windows & External Doors:	UPVC sliding / casement doors and windows designed for required height and windspeed from National Level Brand(s)
Doors & Door Frames:	7 ft Height / Wood finished Pre-laminated shutters / Polished Door Frame - High Quality Branded locks, tower bolt & door stopper
Electrical:	- Designer Switches with chrome trimming for better aesthetics - Broadband data points in the room. 1 (one) wall mounted 1.5 ton indoor split AC at designated location shall be provided - AC outdoor unit at designated location - AC and some lights shall be provided on Automation which can be operated using mobile app - Fire retardant low smoke copper wiring in concealed PVC conduits shall be laid in ceilings and walls for all electrical points - Fire Fighting & Alarm system, as required by the competent authority shall be provided

Kitchen:

Flooring:	Large format glazed vitrified tiles of Nationally Reputed Brand with 2 mm grooves filled with cementitious grout
Walls & Ceiling:	- Quartz stone cladding on the walls 2 ft above Quartz Kitchen Counter for superior finish - Balance walls & Ceiling shall be treated in putty followed by 2 coats of emulsion paint - Kitchen Cabinets made of High Density High Moisture Resistant (HDHMR) board with High Gloss laminated shutters & fluted glass shutters - Drawers with branded / channels & hinges. Stainless steel hardware inside the drawers - Electric chimney, Hob and Microwave shall be pre-fitted - Provision for fixing Dishwasher under the Kitchen counter shall be provided - Tall pantry storage for additional storage with designated space for microwave and oven
Windows & External Doors:	UPVC sliding / casement doors and windows designed for required height and windspeed from National level brand(s)
Doors & Door Frames:	7 ft Height / Wood finished Pre-laminated shutters / Polished Door Frame - Cylindrical lock with latch & Door Stopper
Plumbing:	- Single bowl sink shall be provided - Provision for under counter RO shall be made - Piping for Hot & Cold water shall be provided
Electrical:	- Designer Switches with chrome trimming for better aesthetics - Geyser (15 ltr) shall be provided in the Kitchen - Power Point for chimney, Hob, Oven & Microwave, RO & Fridge - Fire retardant low smoke copper wiring in concealed PVC conduits shall be laid in ceilings and walls for all electrical points - Fire Fighting & Alarm system, as required by the competent authority shall be provided

Master Toilet	
Flooring:	Vitrified / Ceramic tiles (300 mm x 300 mm)
Walls & Ceiling:	• Glazed vitrified tiles (600 mm x 300 mm) from floor to ceiling. POP moulding on the ceiling • Ceiling shall be painted in white color emulsion paint
Windows & External Doors:	UPVC sliding / casement doors and windows designed for required height and windspeed from National level brand(s)
Doors & Door Frames:	• 7 ft Height / Wood finished pre laminated shutters / Polished Door Frame • Cylindrical lock with latch & Door Stopper
Plumbing:	• Quartz counter with large backlit mirror • Counter top wash basin • Rain shower, Concealed Diverter for hot & cold water • Full Glass Shower Partition (Toughened Glass) • Wall Hung WC with concealed cistern • All items from National Level Brands
Electrical:	• Designer Switches with chrome trimming for better aesthetics • Provision for geyser in Toilet • Power socket near wash basin for shaver & hair dryer • Fire retardant low smoke copper wiring in concealed PVC conduits shall be laid in ceilings and walls for al electrical points

Toilets (Other than Master):

Flooring:	Vitrified / Ceramic tiles (300 mm x 300 mm)
Walls & Ceiling:	• Glazed vitrified tiles (600 mm x 300 mm) from floor to ceiling. POP moulding on the ceiling • Ceiling shall be painted in white color emulsion paint
Windows & External Doors:	UPVC sliding / casement doors and windows designed for required height and windspeed from National level brand(s)
Doors & Door Frames:	• 7 ft Height / Wood finished pre laminated shutters / Polished Door Frame • Cylindrical lock with latch & Door Stopper
Plumbing:	• Quartz stone counter with large mirror • Counter top wash basin • Shower with concealed diverter for hot & cold water • Half Glass Shower • Half Glass Shower Partition (Toughened Glass) • Wall Hung WC with concealed cistern • All items from National Level Brands
Electrical:	• Designer Switches with chrome trimming for better aesthetics • Provision for geyser in Toilet • Power socket near wash basin for shaver / hair dryer • Fire retardant low smoke copper wiring in concealed PVC conduits shall be laid in ceilings and walls for all electrical points

Balcony:	
Flooring:	Vitrified Tiles in Long Plank Form
Walls & Ceiling:	Wall and ceiling will be treated with external primer followed by texture & 2 coats to external paint from National Level Brand(s).
Windows & External Doors:	UPVC sliding /casement doors and windows designed for required height and windspeed from National level brand(s)
Doors & Door Frames:	NA
Plumbing:	NA
Electrical:	Electrical points for fan and light shall be provided

Utility Balcony:

Flooring:	Ceramic tiles (300 mm x 300 mm)
Walls & Ceiling:	Wall and ceiling will be treated with external primer followed by texture & 2 coats to external paint from National Level Brand(s).
Windows & External Doors:	NA
Doors & Door Frames:	NA
Plumbing:	Plumbing piping & drain provision for Washing Machine
Electrical:	Electrical points for fan, light and washing machine shall be provided

Domestic Staff Room:

Flooring:	Ceramic tiles (300 mm x 300 mm)
Walls & Ceiling:	Wall and ceiling will be treated with external primer followed by texture & 2 coats to external paint from National Level Brand(s)
Windows & External Doors:	UPVC sliding / casement doors and windows designed for required height and windspeed from National level brand(s)
Doors & Door Frames:	• 7 ft Height / Wood finished laminated shutters / Polished Door Frame • Cylindrical lock with latch & Door Stopper
Plumbing:	Floor Mounted WC Washbasin with mirror Shower with hot & cold water piping all items from National level brands
Electrical:	Electrical points for lights, fan and power sockets shall be provided. Provision for Geyser shall be made in the toilet

External Finish:	Building shall be finished in a mix of textured and plain paint.
Lifts:	3 high-speed passenger lifts (10Pax /13Pax) in each building of reputed make such as OTIS/KONE/JOHNSON/SCHINDLER. - Lift shall have Automatic Rescue Device & Intercom Connection. - Lifts shall have decorative Interior panels
Typical Floor Lift Lobbies & Corridor:	- Flooring in attractive design of ceramic tiles / vitrified tiles / stone - Wall shall be finished in a mix of wood finish laminate tiles, stone & paint. - Wall designed with decorative lighting in ceiling & walls. - Windows for natural sunlight & ventilation.
Ground Floor Entrance Lobby:	- Extra height entrance with water bodies designer ambient lighting, Air Conditioned reception area with grand chandelier, reception table and wall claddings - Lounge furniture shall be placed at various locations in the lobby for relaxing and casual interactions. - Flooring in mix design of marble / granite and tile.
Staircase:	- All Staircase flooring shall be granite - MS Railing on one side with enamel painted handrail - Walls will be plastered along with putty and painted with oil bound distemper in pastel shade. Ceiling shall be in white color - Staircase shall have wall opening as required by Fire Department - Door and window openings shall be as per Fire Safety Norms - Lighting and Signage shall be provided on every floor landing
Service Shaft Doors:	All service shaft door in the corridor shall be fire rated as prescribed by the State Fire Department and National Building Code\
Electric Connection & Power Back-up:	- Electricity Connection: Apartment(s) shall be provided with suitable 3 Phase electric connection through State Electricity Distribution Company ULTIMA (3 BHK + 3T + SQ) : 11KVA MAGNA (3 BHK + 3T + SQ) : 11KVA PRIMA (3 BHK + 3T) : 11KV - Electric Meter: Pre-Paid Electric Connection with Dual Reading Meter shall be provided at extra cost. Usage charges shall be payable extra - Power Backup: Power Back-up shall be provided to the apartments & common areas through DG Sets/Gas Turbine Generators. Recurring monthly charges shall be levied. Power Back-up of 6KVA for ULTIMA MAGNA & PRIMA and in common area with overall suitable diversity factor shall be provided. Recurring monthly cost shall be charged extra
Water Supply:	- Round the clock supply of domestic consumption water filtered through dual media filter - Supply of filtered drinking water through Centralised Water Filtration Plant via underground tank and overhead tanks. Till such time supply of drinking water is not provided by HUDA/Municipal Corporation, the Developer shall arrange to provide the same through water tankers. The cost for it shall be borne by all the allottee proportionately in addition to the Common Area Maintenance Charges
Special Features:	- Grand Air Conditioned Entrance Lobby with designer flooring, chandelier, water bodies, lounge seating - Exclusive Swimming Pool for the Residents of Mulberry Moments Only on the first floor - Exclusive gym/work out station for the Residents of Mulberry Moments Only on the first floor - Exclusive Community Hall to host small get-togethers for the residents of Mulberry Moments - Landscaped Terrace / Viewing Deck on the 20th floor level - Only 3 apartments per floor 3 High speed lifts including a Services / Stretcher lift - Designer Lift Lobby on every floor for a 5 star entrance feel - Free membership to 35000 Sq. ft, most luxurious club zone (Alba) of Sohna - Large landscape garden with softscape and designer hardscape having covered garden and open to sky gardens - All Weather Air conditioners in all Bedrooms and Living Room in each apartment - Modular Kitchen cabinets with luxurious glossy finish having Quartz Kitchen Counter, pre-fitted with Chimney, Hob, Microwave and Geyser

- Provision for installing under counter Dish washer and RO system
- Large Deck attached with the Living Room
- Automation for AC and Lights in all Bedrooms and Living Room
- Biometric Lock on the Main Door
- Wash basin Counters of Quartz with large mirrors
- Wall Hung WC with Concealed Cistern in all bathrooms
- Single lever Diverter shower in all bathrooms
- Glass Shower Partition in all bathrooms
- Large glazed vitrified tile flooring in Living, Dining, Kitchen and Foyer
- Laminated Wooden Flooring in all Bedrooms

- Additional Feature:**
- Fiber to the Floor Network (FTTP)**
 - Provision of Wi-Fi service in the common area & apartment. Subscription and user charges to be paid directly to the service provider
 - Intercom system shall be provided connecting apartments with security guard room & maintenance room
 - Provision for Piped Cooking Gas supply connection at an extra cost shall be made in each apartment. Gas Supply along with Piped Cooking Gas System maintenance shall be outsourced to a third party specialised vendor. Allottee shall be billed by the authorised Gas Vendor for recurring gas consumption along with a fixed monthly cost for monthly maintenance by the vendor
Please Note: Supply of Gas facility may not be available until 50% of the apartments are occupied in Ashiana Mulberry Moments
 - Pre-Paid Electric Meter and Billing System shall be installed. Meter cost, connection charges, recurring user charges shall be paid extra by the Allottee
 - Surveillance with CCTV cameras on the Periphery of the Complex, Main entry and Exit, Basement & Stilt level parking, Tower ground floor entrance lobby levels, Lifts and club zone house building

Standard specification for amenities of “Club ALBA”

- Club Zone:**
- Fully Air conditioned club zone having total area of 35,000 Sq. ft alongwith the swimming pool area. Grand reception with double height entrance lobby
 - Designer Swimming pool with fibre optic lights creating starry night effect on the floor
 - Kids Swimming pool with fibre optic lights on the floor
 - Squash Court
 - Indoor Badminton court
 - Banquet hall with designer interiors and well equipped kitchen & outdoor tandoor area
 - Home theatre with acoustic paneling, state of art audio-video, recliner seats, carpets & designer lighting
 - Unisex SPA Zone with therapy room, Jacuzzi tub, Steam room & Sauna room
 - Unisex Salon
 - Games Room with TT, Snooker, Air hockey, Video Game station & board games
 - Cards room
 - Gym with modern equipments, designer interiors & lighting
 - Terrace for morning yoga, aerobics and zumba
 - Toddler Play Zone
 - Double height Residents Lounge equipped with plush seating, large screen TV, designer interiors and Café
 - Activity Rooms for children dance & music lessons
 - Roof top Terrace Garden with lift access & service staircase
 - Large Party Lawn attached to the Banquet Hall
 - Lawn tennis court
 - Cricket pitch with automatic bowling machine

- Outdoor Multipurpose Court (Opp. Shops)
- Multipurpose court with provision to play basket ball/volley ball and badminton
 - Cricket Pitch with automated bowling machine

Electrical Specification

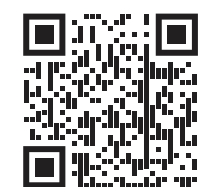
Summary of Electrical Point																		
S.No.	Location	Bell Point	Video Door Phone	Light Point			Automation Switch	Mirror Light Point	Ceiling Fan Point	6 Amp Light Plug	16 Amp Power Point	20 Amp AC Point	Distribution Board	ONT Box	Telephone Point	Data Point	Exhaust Fan	Wall Fan Point
				Ceiling Light	Wall Light	Cove Light												
1	ULTIMA (3 BHK + 3T + SQ)	1	1	34	13	8	5	3	14	28	17	5	1	1	1	4	5	1
2	MAGNA (3 BHK + 3T + SQ)	1	1	33	13	7	5	3	14	28	17	5	1	1	1	4	5	1
3	PRIMA (3 BHK + 3T)	1	1	30	13	8	5	3	12	26	15	5	1	1	1	4	4	0
	Total Qty.	3	3	97	39	23	15	9	40	82	49	15	3	3	3	12	14	2

180 FAMILIES COUNTLESS MOMENTS

GLIMPSE OF THE MULBERRY COMMUNITY CULTURE!

The 180 families already living at Ashiana Mulberry have joyous stories to tell and countless memories worth re-living during their stay here.

From celebrating holidays and festivals to personal milestones, people here at Ashiana Mulberry are one big community.



SCAN TO WATCH
TESTIMONIAL VIDEOS
OF OUR HAPPY RESIDENTS

38 YEARS OF ASSURANCE AND ASHIANA

Ashiana has been a trusted name in housing development, renowned for its Quality of Construction, Safety of Investment, and Integrity of Commitment. With a legacy spanning 46 lakh sq. ft of meticulously crafted spaces, Ashiana has enriched the lives of over 4500 families, reflecting its dedication to excellence and customer satisfaction.

SOME OF ASHIANA'S COMPLETED RESIDENTIAL PROJECTS INCLUDE:

GURUGRAM	INDIRAPURAM	GHAZIABAD	GHAZIABAD	JAIPUR	GREATER NOIDA
CLASSIC PERSONAL FLOORS (180 APTS)	ASHIANA GREENS (390 APTS)	ASHIANA HERITAGE (98 APTS)	ASHIANA LE RESIDENCY (300 APTS)	ASHIANA GREENS (304 APTS & 20 VILLAS)	ASHIANA ORCHIDS (168 APTS)
					
ASHIANA SILVER CREST (31 APTS)	ASHIANA UPVAN (441 APTS)	ASHIANA PALM COURT (440 APTS)	VILLA ANANDAM (173 VILLAS)		BLACK GOLD APARTMENTS (176 APTS)
					
ASHIANA MULBERRY PHASE 1 (180 APTS)					

SOME OF ASHIANA'S ONGOING RESIDENTIAL PROJECTS INCLUDE:

BHUBANESWAR

ROYAL LAGOON
(705 APTS)



COMMERCIAL

ASHIANA ROYAL ARCADE
(BHUBANESWAR)



ASHIANA ARCADE
(INDIRAPURAM)



GURUGRAM

ASHIANA MULBERRY
BLOSSOM
(180 APTS)



BHUBANESWAR

ASHIANA REGAL
(148 APTS)



ASHIANA ELEGANCE
(180 APTS)



ASHIANA REGENCY
(REGAL PHASE 2) (56 APTS)



JAIPUR

ASHIANA GREENS
PHASE 5 & 6
(40 APTS)



THE MINDS BEHIND CREATING MULBERRY MOMENTS



PRINCIPAL ARCHITECT

Design Forum International (DFI)

Design Forum International (DFI) is an architectural practice with an international presence based in New Delhi and Chennai, India. Established in 1995 by Anand Sharma, Anoj Tevatia, and Goonmeet Singh Chauhan, alums of IIT Kharagpur, DFI collaborates with clients to achieve their vision by maximising each project's potential with the necessary support. With a team of over 140 highly engaged individuals, we strive to explore how architecture can meet the needs of a radically and rapidly changing world.



LANDSCAPE ARCHITECT

Prolific Designs

Prolific Designs is a landscape design studio aiming at creating designs inspired by innovation, in-depth thinking and idealism. The designs that we craft are timeless, vibrant and blended with the aspects to connect with nature. It is not only the inclusion of technology that helps to introduce meaningful spaces but also the spirit of creativity. Believing the contribution of a space to the occupants, our designs represent our understanding of architecture and environment. With a multi-scale and multi-disciplinary approach, we bring in a fresh perspective and provide creative solutions to a statement to a landscape.

Being a well-recognised design studio, we make you find out a collaborative approach to enhance the aesthetic value of a space. Ideas are continuously evolving and so is our process of work. Providing innovative landscape design solutions is an art, which we excel at. Moreover, we provide bespoke designs that add definition to a built environment.



STRUCTURAL CONSULTANT

NNC Design International

28 Years Experience In Design of Structures
Dr. Maqsud E Nazar is the Principal consultant of "NNC Design International", one of the renowned Structural and Civil Engineering Consultancy firm in Delhi. He has expertise in the Structural design of Residential Buildings, Large span industrial structures, Malls and Commercial Complexes, Hotels, Hospitals, Refineries, Switch yard Structures, Proof Consultancy & Value Engineering of above work in India and abroad. Presently working with various well-known and leading architects, developers and Govt. agencies on projects of national importance and providing the best services in Structural design. After pursuing B.Tech (Civil Engg), Hons. (Gold Medalist) from Jamia Millia Islamia University, M.tech (Structures), Hons. (Gold Medalist) and Ph. D (Structures) From IIT Delhi, he has started his own firm in the year 2007. He is a member of the British Masonry Society, London (U.K.) and The Institution of Engineers, India. He has written many Technical Papers, which are published in the leading Journals and conferences like American Society of Civil Engineers (ASCE), RILEM (France), BMS (U.K.) TMS (U.S.A), SEM (Korea), IABSE.



LIGHTING DESIGN PARTNER

URI Design Studio

URI Design Studio is an award winning design and consultancy practice that uses light to enhance the experience of the visual environment. Our work is wide-ranging in terms of type and scale and encompasses architecture.

Today we work with over 30 people drawn from disciplines including architecture, urban design, interior design, art, lighting, set design and landscape design.



INTERIOR DESIGN PARTNER

Kalakshetra Designs

Kalakshetra designs is a complete Interior Designing, Consultancy & Execution firm led by young entrepreneurs - Shalini Gupta and Shipra Kakrania, both qualified and upbeat Interior designers with a wealth of experience & expertise in designing. Eclecticism intertwined with traditional values makes this team the next generation hybrid designers to reckon with. Their belief in complementing expertise in design, knowledge, workmanship, management of manufacturing, dedicating to offering true value for the very best designs in commercial as well as residential interiors have stood them in good stead and now they are all set to take quantum leaps into the design landscapes all over the country.

Be the Bee

BRAND CONSULTANT

BetheBee

Bibhor Singhanian & Banibrata Goswami have been working with the real estate pioneers across the nation, and serving more than 125 clients and 350 real estate projects across West Bengal, Maharashtra, Chhattisgarh, Assam, Bihar, Odisha & many more states.

Be the Bee is one of India's most promising advertising agencies, with a bunch of innovative ideators and strategic thinkers. We aim to serve the most creative as well as effective branding approaches, that touch all the verticals of marketing and create a distinguished position with the help of outstanding aesthetic skills for each real estate project.

COME, WRAP EVERY MOMENT



IN A SHADE OF MULBERRY !



Scan for walkthrough
and drone view

HARERA No.: 92 OF 2025 DATED: 14.10.2025

HARERA Website: <https://haryanarera.gov.in/>

Developer



Corporate Address:

3H, Plaza-M6, District Centre Jasola (Adjacent to Apollo Hospital), New Delhi - 110025

Tel No: +91 11 4056 4056 | E-mail: contact@ashianamulberry.com

Registered Address:

Ashiana Dwellings Private Limited

5F, Everest, 46/C, Chowringhee Road, Kolkata - 700 071, West Bengal

CIN: U45400WB2014PTC201892

Site Address:

Ashiana Mulberry Moments

Opposite to K.R Mangalam University, Sector 2, Sohna Gurugram

Email: sales@ashianamulberry.com

☎ 8010 100 500

Disclaimer:

The Project Ashiana Mulberry Phase IV (named as Ashiana Mulberry Moments) comprising of Tower T7 and 138 Apartments is a part of Total Licensed Project "Ashiana Mulberry" located at Sector-2, Opp K.R Mangalam University, Tehsil Sohna, District Gurugram, Haryana being developed by M/s Ashiana Dwellings Private Limited ("Promoter/Licensee") having License No. 16 of 2014 dated 10.06.2014 read with Transfer Order LC-2817-JE(VA)/2015/9498 dated 08.06.2015 and renewals thereof issued by Directorate of Town and Country Planning, Chandigarh, Haryana ("DTCP"). The building plans of the Project have been approved by DTCP via Memo No. ZP-1062-Vo-II/JD(RA)/2025/32004 dated 18.08.2025

The Haryana RERA Registration Number of the Project is 92 of 2025 dated 14.10.2025. (HARERA Website - <https://haryanarera.gov.in>). All the approvals can be checked at the Corporate Office of the Promoter situated at New Delhi. The Promoter is only selling the Apartments under phase wise construction and not the Project Land. The rights of buyer in the common areas, facilities and amenities will be limited to usage rights as per Deed of Declaration to be filed in due course of time under The Haryana Apartment Ownership Act, 1983 and as per Agreement for Sale.

The external infrastructural facilities such as Sector Roads, Electricity Supply, Drinking Water, trunk storm water drainage & sewage are to be developed by various Government agencies/departments. If there is any delay or inconvenience due to non - availability of external infrastructure, the Promoter shall not be held responsible for the same. Changes may happen in the layout of amenities/common area services, if instructed by Competent Authorities such as DTCP, Ministry of Environment, State Pollution Control Board, Central Ground Water Authority, HUDA, Electricity Supply Agency, Fire Department etc and the same shall be intimated to the buyers as and when necessary. The information and contents provided herein are subject to change within the provisions of The Real Estate (Regulation and Development) Act, 2016 and other Applicable Acts, Rules and norms of the State Government. The Company is retaining its rights to additional FAR under TOD, TDR, GRIHA etc subject to the prevailing government norms. Images of people, animals, trees, plants, art and artefact as shown herein are for indicative purpose only and are not a part of the Offering. Please refer to the specifications and amenities statement in the Brochure/Application Form/Agreement for Sale for details before investing. The computer generated rendering/images of apartments, buildings, amenities are as per architectural design and intent. However, there can be a variation in colour and texture of the actual material used. Nothing contained herein intends to constitute a legal offer and does not form part of any legally binding agreement and/or commitment of any nature. Please read and pursue the terms and conditions of the Application Form/Draft Agreement for sale, building sanction plans and all approvals before tendering your booking.